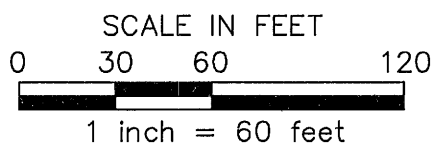
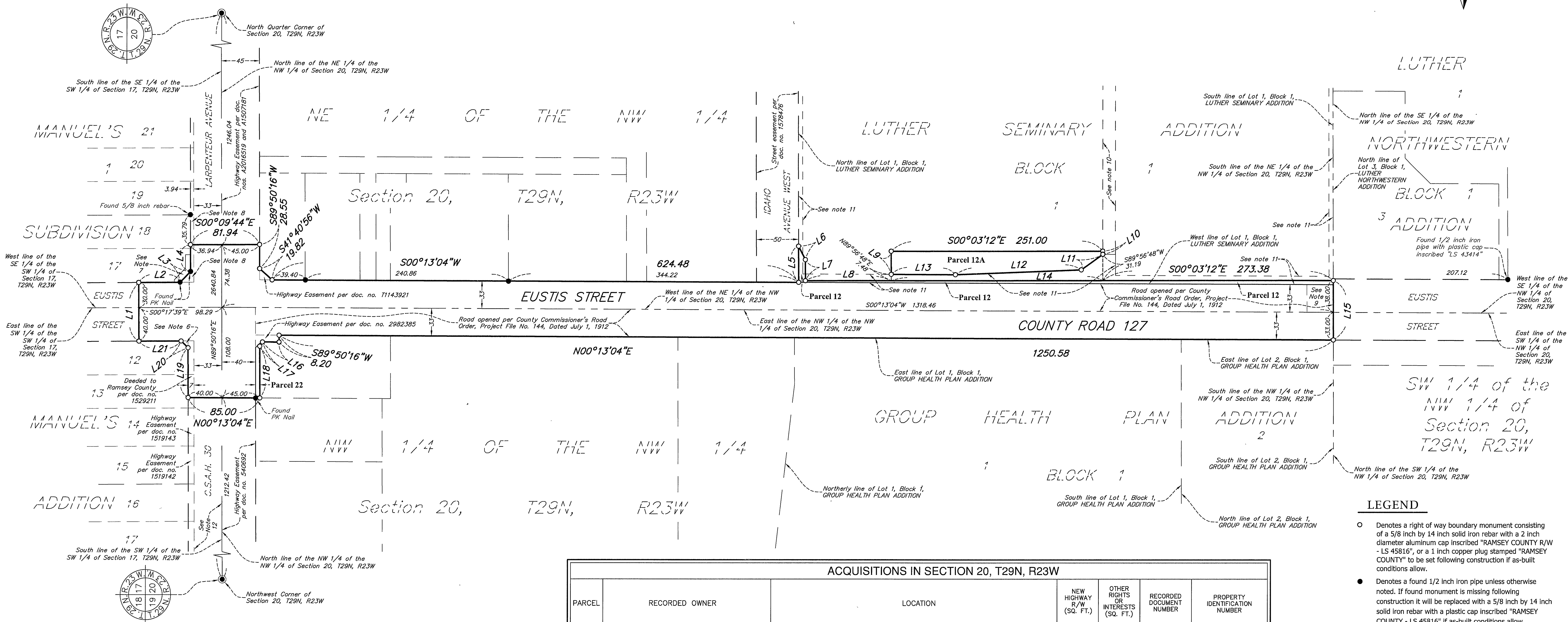
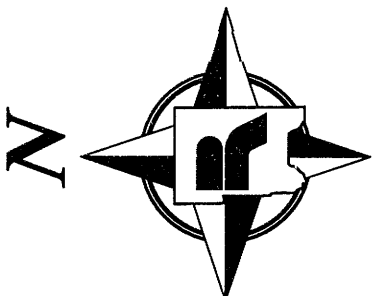


RAMSEY COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 50

COUNTY ROAD 127 - EUSTIS STREET



Bearing basis for this plat is the east line of the Northwest Quarter of the Northwest Quarter of Section 20, Township 29 North, Range 23 West, which is assumed to bear S 00° 13' 04" W.



- LEGEND**
- Denotes a right of way boundary monument consisting of a 5/8 inch by 14 inch solid iron rebar with a 2 inch diameter aluminum cap inscribed "RAMSEY COUNTY R/W - LS 45816", or a 1 inch copper plug stamped "RAMSEY COUNTY" to be set following construction if as-built conditions allow.
 - Denotes a found 1/2 inch iron pipe unless otherwise noted. If found monument is missing following construction it will be replaced with a 5/8 inch by 14 inch solid iron rebar with a plastic cap inscribed "RAMSEY COUNTY - LS 45816" if as-built conditions allow.
 - Denotes a found cast iron monument.

ACQUISITIONS IN SECTION 20, T29N, R23W

PARCEL	RECORDED OWNER	LOCATION	NEW HIGHWAY R/W (SQ. FT.)	OTHER RIGHTS OR INTERESTS (SQ. FT.)	RECORDED DOCUMENT NUMBER	PROPERTY IDENTIFICATION NUMBER
12	Greenway Village Apartments, LLC	Lot 1, Block 1, LUTHER SEMINARY ADDITION	2484		4532907	20-29-23-21-0078
12A	Greenway Village Apartments, LLC	Lot 1, Block 1, LUTHER SEMINARY ADDITION		6180	4532907	20-29-23-21-0078
22	Larpenour AAP, LLC	Part of the NW 1/4 of the NW 1/4 of Section 20, T29N, R23W	321		4590766	20-29-23-22-0018

NOTES

- The purpose of this plat is to delineate and plat the boundary lines of existing right of way and parcels of land where additional right of way or other interests are intended to be acquired. This plat alone does not establish new rights. Refer to written conveyance documents recorded against each parcel to verify which rights, if any, were acquired.
- Existing parcel and right of way boundaries shown hereon have been determined from Ramsey County survey records, descriptions recited on recorded or filed documents, subdivision plat computations and analysis and field location of existing survey monuments. Recorded or filed documents were provided by Land Title, Inc. in the form of "Property Reports" with posting dates of December, 2021 with additional land records research performed as necessary.
- For details concerning this plat contact the Ramsey County Surveyors Office and reference Project 2015-033.
- Ramsey County Survey Resources website provides information (coordinates and monument descriptions) for found and located survey monuments that were used in analysis and boundary determinations for this right of way plat.
- Additional public or private easements may exist that have been conveyed or dedicated on adjoining parcels that are not depicted or noted on this right of way plat. See recorded documents for type, size and location of any possible additional easements.
- Highway easement to Ramsey County per document number 2976263.
- Sidewalk easement to City of Lauderdale per document number 4509719.
- Highway easement to Ramsey County per document numbers 2983485, 2983486, and 2999023.
- Dedicated as EUSTIS STREET per plat of LUTHER SEMINARY ADDITION.
- Storm water drainage and ponding easement to the City of Lauderdale per document number A04773609 (amended and restated easement agreement).
- Existing drainage and utility easement per plat of LUTHER SEMINARY ADDITION.
- Road opened per Supervisor's Road Order, Project File No. 42, Dated June 8, 1867.

LINE TABLE		
Segment	Bearing	Distance
L1	N89°42'21"E	70.00
L2	S00°17'39"E	48.96
L3	S45°13'42"E	17.65
L4	N89°50'16"E	32.00
L5	N89°49'47"E	43.00
L6	S63°17'17"W	17.90
L7	S89°49'47"W	25.00
L8	S00°03'12"E	101.81
L9	N89°56'48"E	27.52
L10	S89°56'48"W	3.81
L11	N35°51'15"W	31.43
L12	N02°14'01"W	149.52
L13	N00°13'04"E	76.10
L14	S00°03'12"E	251.00
L15	S89°49'22"W	71.00
L16	N00°13'04"E	19.69
L17	N57°30'50"W	5.92
L18	S89°50'16"W	61.79
L19	N89°50'16"E	59.44
L20	N44°46'18"E	11.59
L21	N00°17'39"W	50.00

The Ramsey County Board of Commissioners pursuant to Board Resolution B2024-038 has authorized the County Surveyor to execute plats for the acquisition and delineation of right of way and other rights or interests in lands for highway projects identified in the Transportation Improvement Plan.

I hereby certify that this plat was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the Laws of the State of Minnesota; that this plat meets the requirements of Minnesota Statutes, Section 160.085 and Section 160.14, subd. 1; that all measurements are correctly shown on this plat; that all monuments shown on this plat will be correctly placed in the ground upon completion of construction as stated in the legend hereon; and that the proposed right of way boundary lines are correctly designated on this plat.

RAMSEY COUNTY SURVEYOR

Daniel D. Baar, LS

Date: December 4, 2024
Minnesota License No. 45816

I hereby certify that this right of way plat is adopted pursuant to Ramsey County Board Resolution B2024-038; that this plat applies to that portion of COUNTY ROAD 127 (Eustis Street) shown hereon, being in Section 17, Township 29 North, Range 23 West and in Section 20, Township 29 North, Range 23 West; and that the road authority may refer to this right of way plat for purposes of establishment, acquisition or disposition of lands identified hereon.

RAMSEY COUNTY ENGINEER

Bradley M. Estochen, PE

Date: 12/4/2024
Minnesota License No. 42385

COUNTY RECORDER, County of Ramsey, State of Minnesota

I hereby certify that this RAMSEY COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 50 was filed in the office of the County Recorder for public record on this 9th day of December, 2024, at 9 o'clock A. M. as Document Number 5048793.

Deputy County Recorder

REGISTRAR OF TITLES, County of Ramsey, State of Minnesota

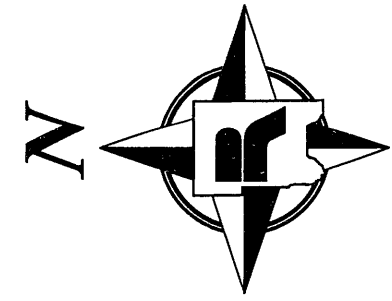
I hereby certify that this RAMSEY COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 50 was filed in the office of the Registrar of Titles for public record on this 9th day of December, 2024, at 9 o'clock A. M. as Document Number 5048793.

Deputy Registrar of Titles

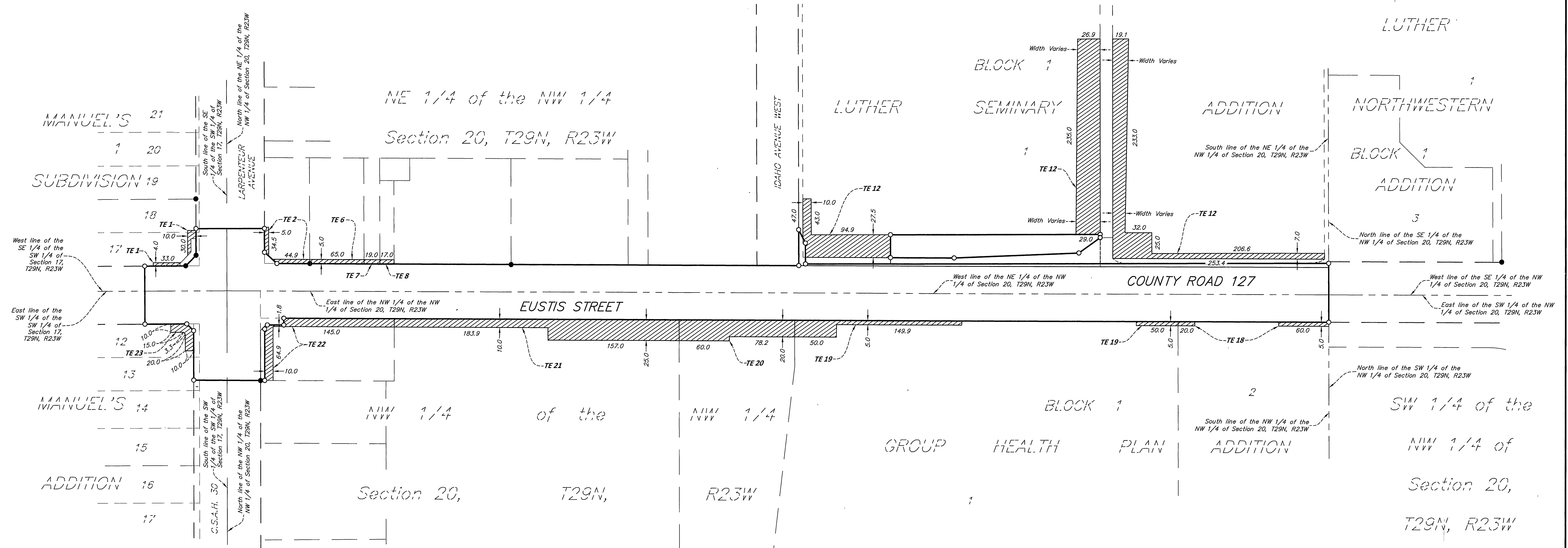
RAMSEY COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 50

COUNTY ROAD 127 - EUSTIS STREET

SCALE IN FEET
0 30 60 120
1 inch = 60 feet



TEMPORARY EASEMENT DETAIL



TEMPORARY EASEMENT PARCEL TABLE

PARCEL	RECORDED OWNER	LOCATION	TEMPORARY EASEMENT AREA (SQ. FT.)	RECORDED DOCUMENT NUMBER OR CERTIFICATE OF TITLE NUMBER	PROPERTY IDENTIFICATION NUMBER
1	Korean Service Center, Inc.	Lots 17 and 18, Block 1, MANUEL'S SUBDIVISION	300	4327963	17-29-23-34-0232
2	See Note 2	Part of the NE 1/4 of the NW 1/4 of Section 20, T29N, R23W	371	COT 655424	20-29-23-21-0001
6	See Note 2	Part of the NE 1/4 of the NW 1/4 of Section 20, T29N, R23W	325	COT 655424	20-29-23-21-0002
7	Rose Hill Investments, L.L.P.	Part of the NE 1/4 of the NW 1/4 of Section 20, T29N, R23W	95	3278016	20-29-23-21-0008
8	See Note 2	Part of the NE 1/4 of the NW 1/4 of Section 20, T29N, R23W	85	COT 655424	20-29-23-21-0007
12	Greenway Village Apartments, LLC	Lot 1, Block 1, LUTHER SEMINARY ADDITION	16529	4532907	20-29-23-21-0078
18	Group Health Plan, Inc.	Lot 2, Block 1, GROUP HEALTH PLAN ADDITION	400	2295421, 2422000	20-29-23-22-0031
19	Children's Home Society and Family Services	Lot 1, Block 1, GROUP HEALTH PLAN ADDITION	2001	3355931, 3355932	20-29-23-22-0030
20	Corval Properties, LLC	Part of the NW 1/4 of the NW 1/4 of Section 20, T29N, R23W	3066	4566565	20-29-23-22-0039
21	Corval Properties, LLC	Part of the NW 1/4 of the NW 1/4 of Section 20, T29N, R23W	5768	4566565	20-29-23-22-0019
22	Larpentaur AAP, LLC	Part of the NW 1/4 of the NW 1/4 of Section 20, T29N, R23W	2005	4590766	20-29-23-22-0018
23	Lauderdale Property, LLC	Lots 14 and 15 and part of Lots 12 and 13, MANUEL'S ADDITION	466	4700513	17-29-23-33-0080

LEGEND

TE ~ Denotes Temporary Easement Parcel

 ~ Denotes Temporary Easement Parcel Area

NOTES

- For detailed boundary and survey information see sheet 1 of 2 of this plat.
- CAC PROPERTY HOLDINGS LLC, GJVC R L.L.C., AND KAREN L CONZEMIUS AND MARTIN J CONZEMIUS AS TRUSTEES OF THE GERARD R CONZEMIUS DISCLAIMER TRUST, each having an undivided 1/3 interest.