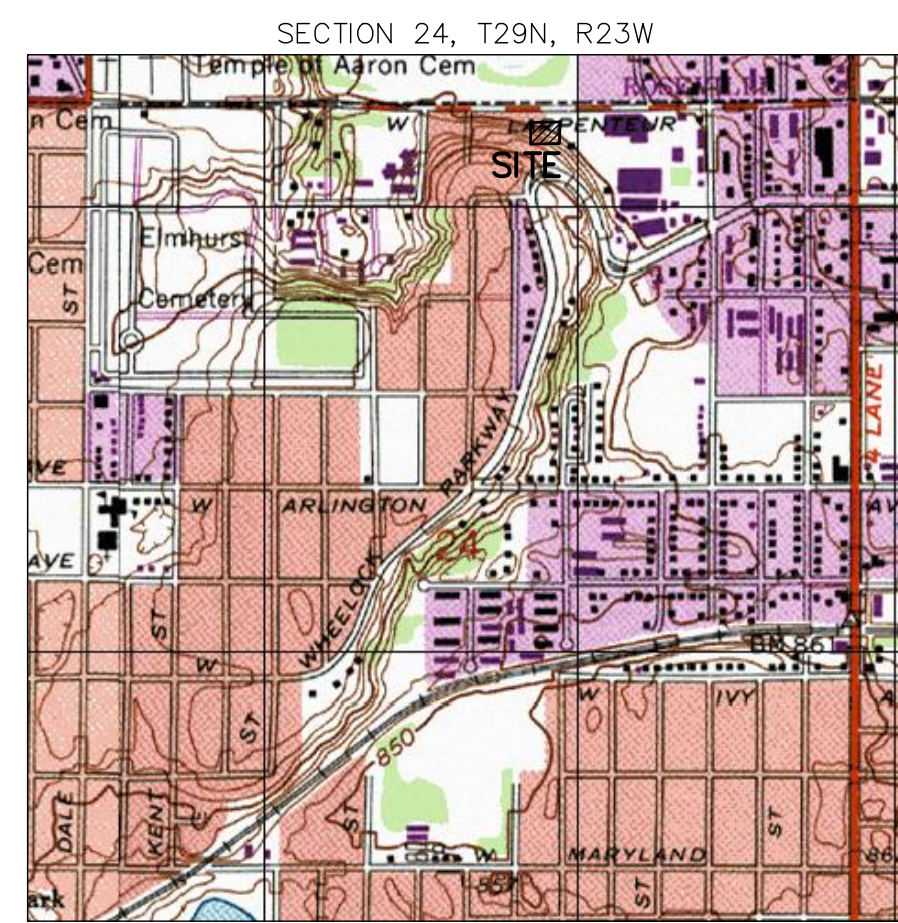
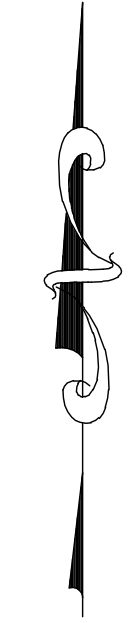


KEMPER & ASSOCIATES INC.
PROFESSIONAL LAND SURVEYORS

721 OLD HIGHWAY 8 N.W.
NEW BRIGHTON, MINNESOTA 55112
651-631-0351
FAX 651-631-8805
email: kemper@pro-ns.net
www.kempersurveys.com

ROSEVILLE AUTO MALL
322 & 336 LARPENTEUR AVENUE WEST
CITY OF ST. PAUL, RAMSEY COUNTY, MINNESOTA

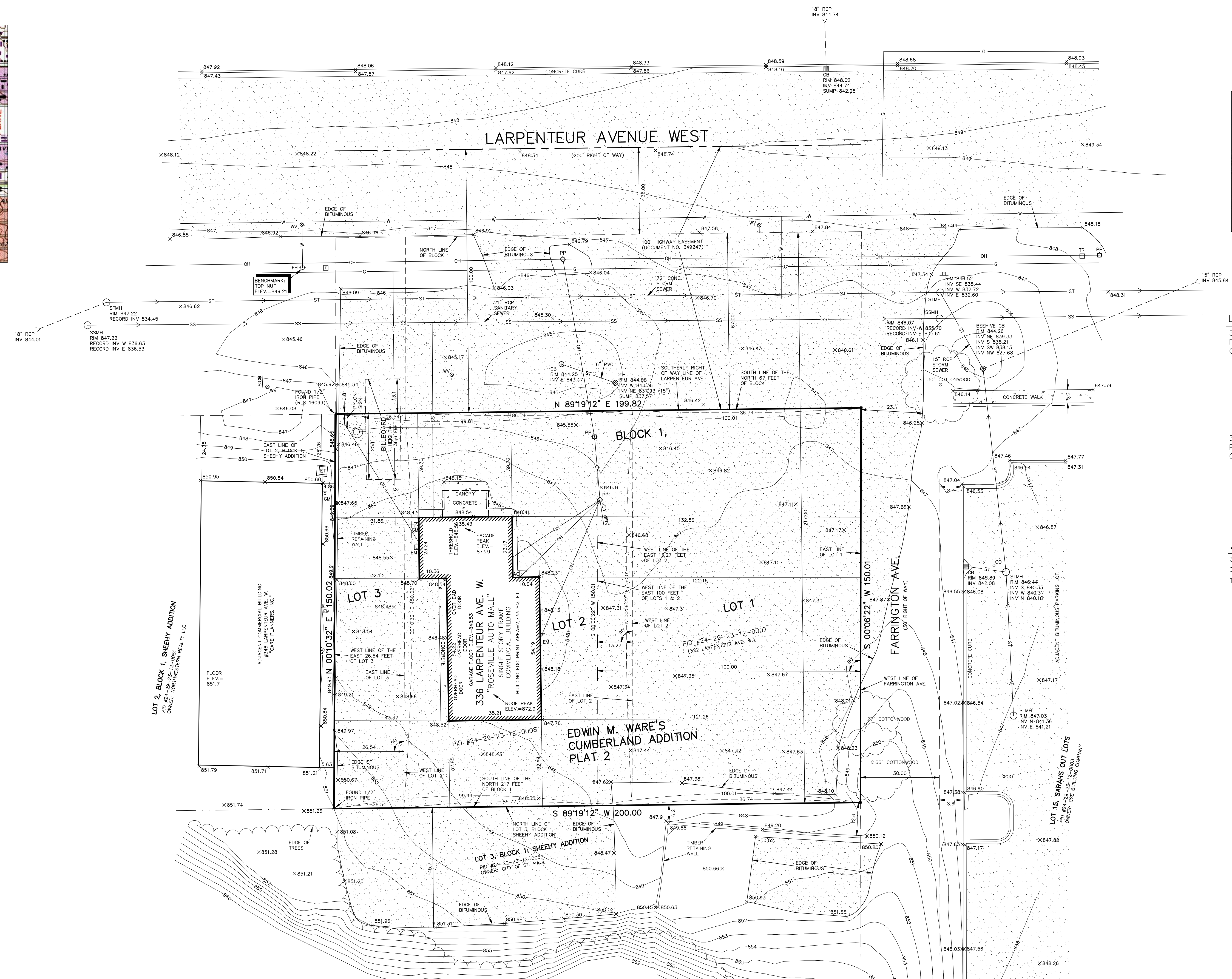
1" = 20'
1 INCH EQUALS 20 FEET
BASIS FOR BEARINGS:
RAMSEY COUNTY
COORDINATE SYSTEM
(NAD83, 1996)
(VIA REAL TIME GPS
MEASUREMENTS UTILIZING
MINNESOTA DEPARTMENT
OF TRANSPORTATION
VRS NETWORK)
BASIS FOR ELEVATION:
CITY OF ST. PAUL
BENCHMARK #927
TOP NUT OF FIRE HYDRANT
ELEVATION=849.21 (NGVD29)
CONTOUR INTERVAL=1 FOOT



VICINITY MAP
(NO SCALE)



FRONT OF 322 & 336 LARPENTEUR AVENUE WEST
CITY OF ST. PAUL, RAMSEY COUNTY, MINNESOTA



ZONING REQUIREMENTS
ZONED B3 - GENERAL BUSINESS DISTRICT
OUTDOOR AUTO SALES IS A CONDITIONAL USE
AUTO REPAIR STATION IS A CONDITIONAL USE
MAXIMUM FLOOR AREA RATIO - 2.0
MAXIMUM HEIGHT - 30 FEET
BUILDING SETBACKS:
FRONT - 0 FEET
NO SIDE OR REAR YARDS ARE REQUIRED
ALONG THE INTERIOR LOT LINES OF THE
DISTRICT; PROVIDED, THAT IF WALLS OF
STRUCTURES FACING SUCH INTERIOR LOT
LINES CONTAIN WINDOWS OR OTHER
OPENINGS, YARDS OF NOT LESS THAN
6 FEET SHALL BE PROVIDED. SIDE AND
REAR YARDS OF AT LEAST 6 FEET
SHALL BE REQUIRED WHEN A BUSINESS
DISTRICT ADJOINS A SIDE YARD IN AN
ADJACENT RESIDENCE DISTRICT
PARKING REQUIREMENTS:
ONE SPACE PER 400 SQ. FT. OF GROSS
FLOOR AREA PLUS ONE SPACE PER
5,000 SQ. FT. OF OUTDOOR SALES
(AUTOMOBILE SALES AND RENTAL)
ONE SPACE PER AUTO SERVICE STALL
(AUTO REPAIR ACCESSORY TO AUTO
SALES)
(AS PER CITY OF ST. PAUL ZONING CODE)

LEGAL DESCRIPTIONS
336 LARPENTEUR AVENUE WEST
PID #24-29-23-12-0008
CERTIFICATE OF TITLE NO. 611856
The North 217 feet of Lot 2, Block 1, Edwin M. Ware's Cumberland Addition Plat 2 except the East 13.27 feet; except the North 67 feet thereof taken for the widening of West Larpenteur Avenue
The East 26.54 feet of the North 217 feet of Lot 3, Block 1, Edwin M. Ware's Cumberland Addition Plat 2, except the North 67 feet thereof taken for the widening of West Larpenteur Avenue

322 LARPENTEUR AVENUE WEST
PID #24-29-23-12-0007
CERTIFICATE OF TITLE NO. 611855
The East 100 feet of the North 217 feet of Lots 1 and 2, Block 1, Edwin M. Ware's Cumberland Addition Plat 2, subject to the North 67 feet thereof taken for widening of Larpenteur Avenue

AREA SUMMARY
336 LARPENTEUR AVE. W. = 14,985 SQ. FT. OR 0.3440 ACRES
322 LARPENTEUR AVE. W. = 15,001 SQ. FT. OR 0.3444 ACRES
TOTAL SUBJECT PROPERTY = 29,986 SQ. FT. OR 0.6884 ACRES

LEGEND

- 850- EXISTING CONTOUR LINE
- X847.35 EXISTING SPOT ELEVATION
- STMH STORM SEWER MANHOLE
- SSMH SANITARY SEWER MANHOLE
- CB CATCH BASIN
- PP POWER POLE
- TR TELEPHONE RISER
- FH FIRE HYDRANT
- WV WATER VALVE
- EM ELECTRIC METER
- GM GAS METER
- AC AIR CONDITIONER
- CO CLEAN OUT
- ET ELECTRIC TRANSFORMER
- OH OVERHEAD UTILITY LINES
- SS SANITARY SEWER
- ST STORM SEWER
- W WATER MAIN/SERVICE
- G GAS MAIN/SERVICE
- DENOTES SET SURVEY MONUMENT MARKED "KEMPER 18407"



REAR OF 336 LARPENTEUR AVENUE WEST
CITY OF ST. PAUL, RAMSEY COUNTY, MINNESOTA

FLOODPLAIN NOTE:
SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X"
(AREAS DETERMINED TO BE OUTSIDE THE 0.2%
ANNUAL CHANCE FLOODPLAIN) ACCORDING TO THE
FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD
INSURANCE RATE MAP COMMUNITY PANEL NUMBER
27120C-0101 G, DATED JUNE 4, 2010, RAMSEY
COUNTY, MINNESOTA

CERTIFICATE OF SURVEY

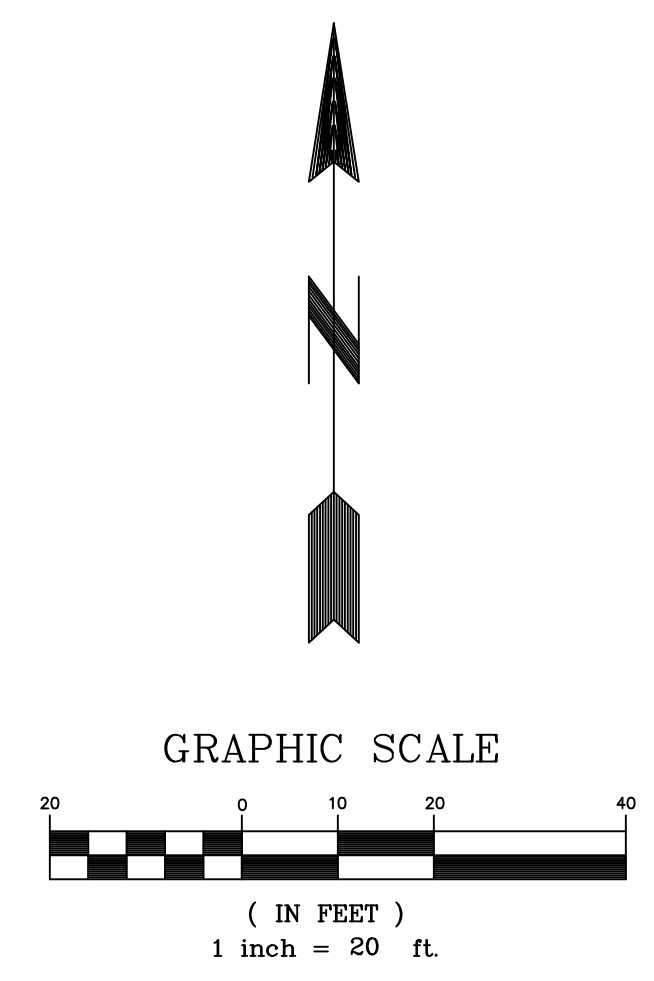
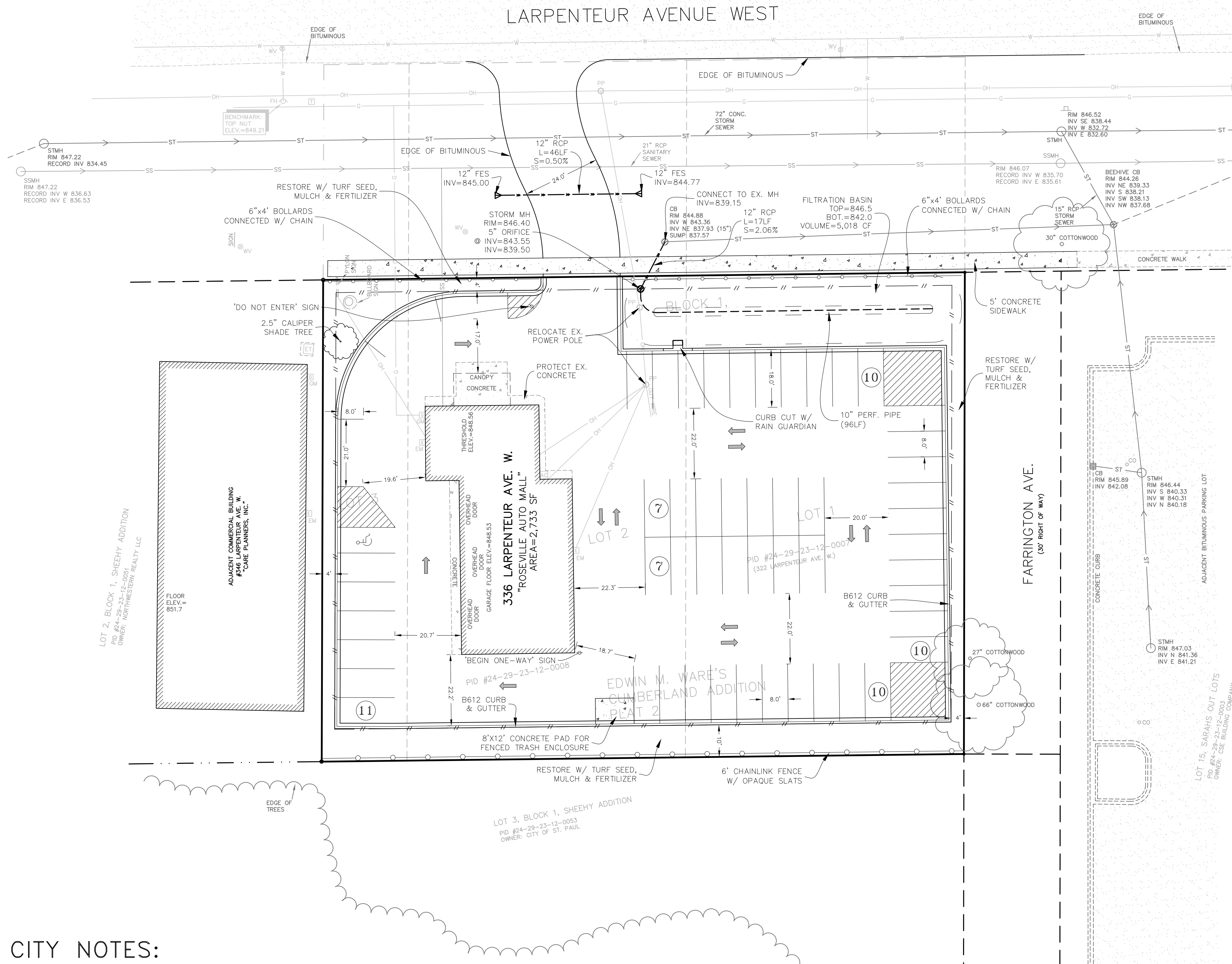
18122 (18122.DWG) D.B. TODD HOLEN



CERTIFICATION
I HEREBY CERTIFY THAT THIS SURVEY, PLAN,
OR REPORT WAS PREPARED BY ME OR
UNDER MY DIRECT SUPERVISION AND THAT
I AM A FULLY LICENSED PROFESSIONAL LAND
SURVEYOR UNDER THE LAWS OF THE STATE
OF MINNESOTA.
Mark D. Kemper
MARK D. KEMPER, PLS 18407
DATED THIS 24TH DAY OF AUGUST, 2018

PREPARED FOR:
SHAWN COOPER
715-441-5421
shawncoop@gmail.com

LARPENTEUR AVENUE WEST

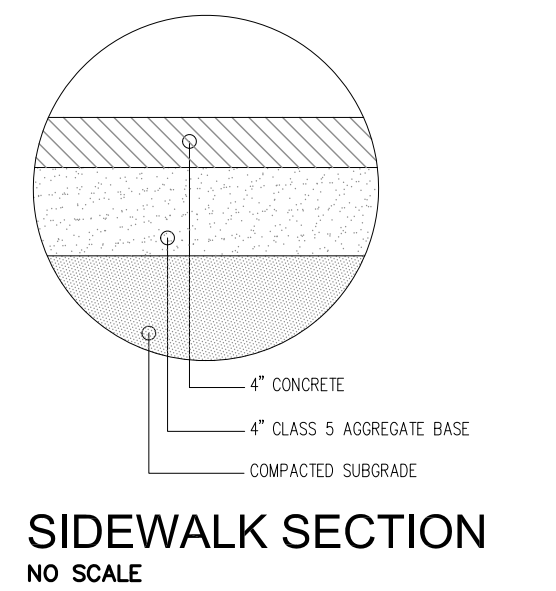
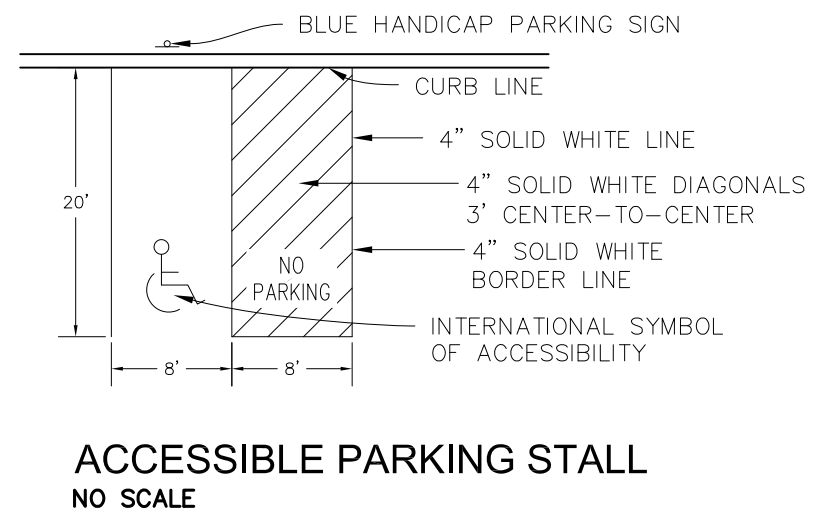
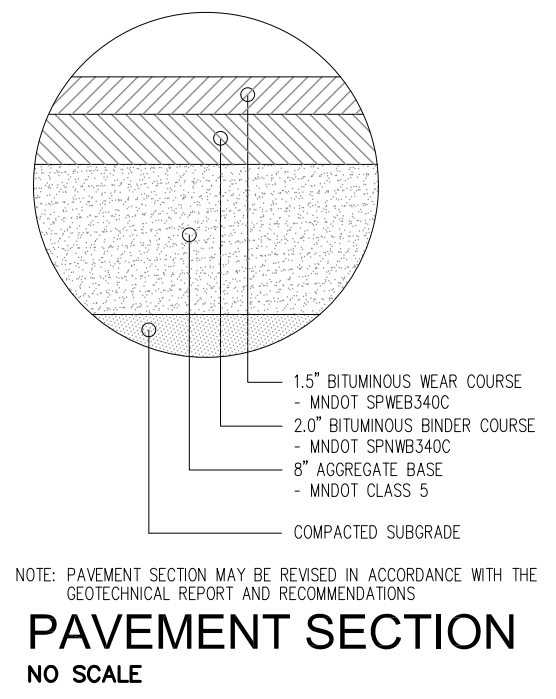
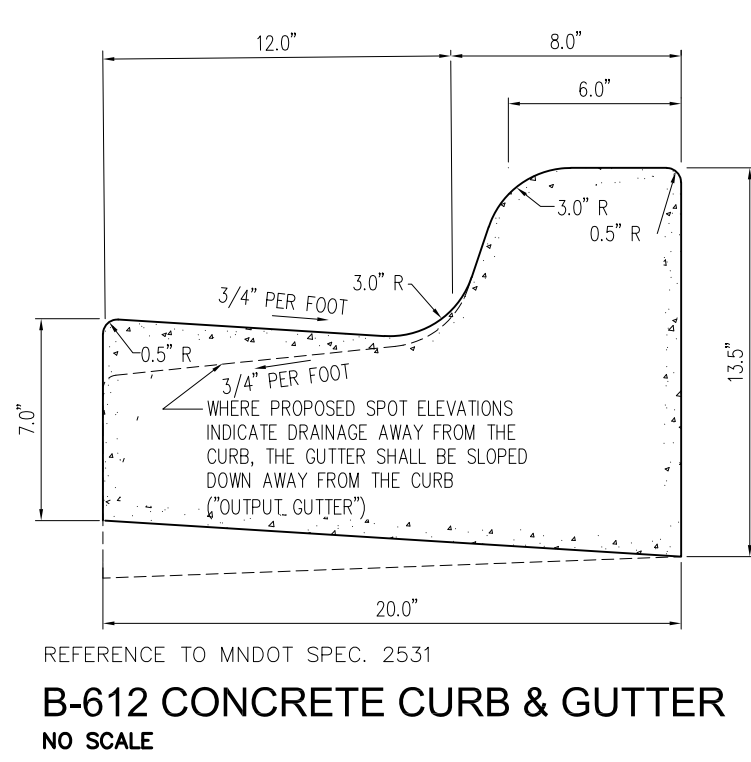


NOTES:

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2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL ONLINE OR BY CALLING 811 OR 1-800-252-1166.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF ST. PAUL AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. CUSTOMER/EMPLOYEE PARKING (WEST AND NORTH SIDE OF BUILDING) = 11 STALLS (INCLUDES 1 ACCESSIBLE STALL)
VEHICLE SALES INVENTORY (EAST SIDE OF BUILDING) = 44 SPACES
5. TOTAL LOT AREA = 29,986 SF (0.69 ACRES)
EXISTING IMPERVIOUS SURFACE AREA = 29,037 SF (96.8%)
PROPOSED IMPERVIOUS SURFACE AREA = 23,859 SF (79.6%)
6. TOTAL PAVED AREA = 20,536 SF. REQUIRED INTERIOR LANDSCAPE AREA = 3,080 SF (15%)
PROVIDED INTERIOR LANDSCAPE AREA (FILTRATION BASIN & SOUTH SIDE) = 3,110 SF (15.1%)

CITY NOTES:

1. **NO PRIVATE FACILITIES IN THE RIGHT OF WAY:** The developer is strictly prohibited from installing private electrical wiring, conduit, receptacles and/or lighting in the City's Right of Way. This includes stubbing conduit or cable into the public right of way to accommodate utility feeds to the site. Coordinate with each utility prior to construction to determine feed points into the property. Utilities are responsible for securing excavation permits to run their service into a site, and (where required) submitting plans for review by the Public Works Utility Review Committee. The Contractor shall assume responsibility (and related costs) for any damage or relocations. Access to signal controller and lighting cabinets must be maintained at all times. If fencing is required for a job site, a key or other means of access must be provided to the City of St. Paul's Traffic Operations Department. Contact Mike Lusian, General Foreman Signals and Lighting at 651-266-9780 for more information.
2. **ROADWAY RESTORATION:** As per the City's "Standard Specification for Street Openings" policy, restoration on roadway surfaces less than 5 years old will require full width mill and overlay or additional degradation fees. Degradation fees are determined by contacting the Right of Way Service Desk at (651) 266-6151. Pavement restoration shall be completed by the St. Paul Public Works Street Maintenance Division. All related costs are the responsibility of the developer/contractor. Contact Street Maintenance at (651) 266-9700 for estimate of costs for pavement restoration.
3. **SIGNING:** Signs regulating parking and/or traffic on private property shall be installed by the property owner or contractor outside of the public right-of-way (ROW). Removal of signs within the public ROW shall be completed by the City. New signs or the reinstallation of existing signs, as approved by Public Works Traffic Engineering, regulating parking and/or traffic in the public ROW for this development shall be installed by the City at the expense of the development. Contact Chris Gulden of Public Works 651-266-9778 two weeks in advance of needed sign work.
4. **STREET SWEEPING:** Street sweeping is an important temporary erosion control best management practice and shall be performed with the use of water. Dry sweeping is prohibited. Additionally, trucks hauling in and out of the site, for any activity including but not necessarily limited to paving, excavation, etc., needs to ensure clean off all mud flaps to avoid any buildup on the street pavement.
5. **MISCELLANEOUS:** Any infrastructure damage resulting from the contractors activities, incidental or otherwise, shall be repaired/replaced to the satisfaction of the City at no cost to the City.



STARK ENGINEERING

www.startengineer.com
320-249-2811
Sauk Rapids, Minnesota

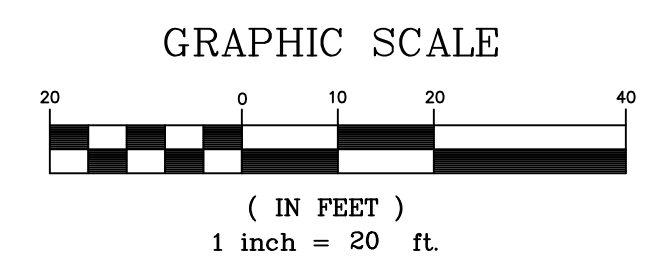
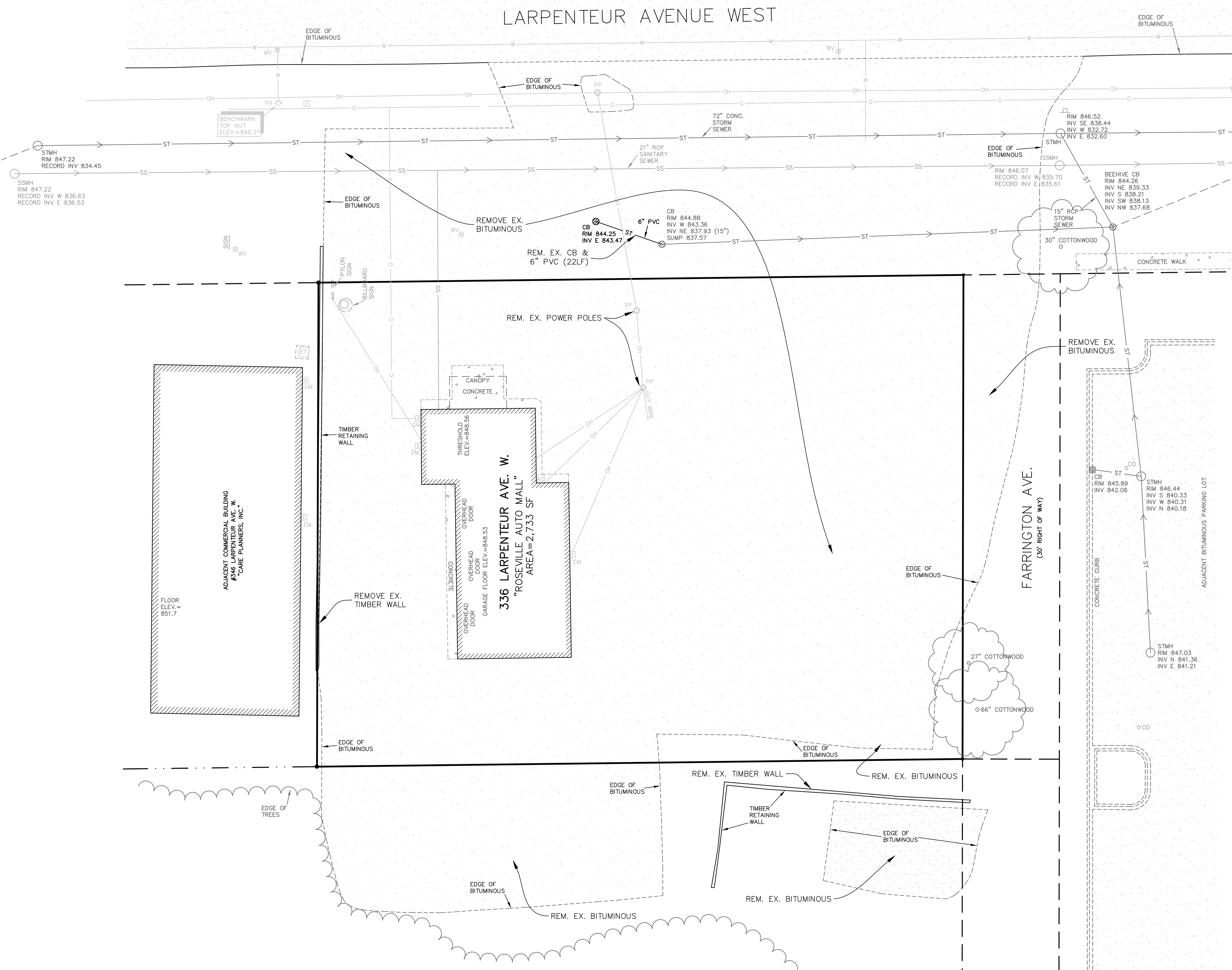
I hereby certify that this plan, specification or report was prepared by me or under my supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Shawn Cooper 7/30/19 26093
Date Registration No.

REVISIONS	CITY REVIEW	CITY REVIEW
5/6/19		
7/30/19		

SITE & UTILITY PLAN

ROSEVILLE AUTO CENTER
ST. PAUL, MINNESOTA
for:
MR. SHAWN COOPER

SHEET
C-1
OF 3 SHEETS



NOTES:

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3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF ST. PAUL AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

CITY OF ST. PAUL PERMIT REQUIREMENTS:

- **ORDERING OBSTRUCTION AND EXCAVATION PERMITS:** Contact Public Works Right of Way Service Desk at 651-266-6151. It is strongly recommended that contractors call for cost estimates prior to bidding to obtain accurate cost estimates.
- **OBSTRUCTION PERMITS:** The contractor must obtain an Obstruction Permit if construction (including silt fences) will block City streets, sidewalks or alleys, or if driving over curbs.
- **EXCAVATION PERMITS:** All digging in the public right of way requires an Excavation Permit. If the proposed building is close to the right of way, and excavating into the right of way is needed to facilitate construction, contact the utility inspector.
- **FAILURE TO SECURE PERMITS:** Failure to secure Obstruction Permits or Excavation Permits will result in a double-permit fee and other fees required under City of St. Paul Legislative Codes.
- **SEWER CONNECTION PERMIT:** License house drain contractor to obtain (Sewer Connection Permit) to construct new sanitary sewer and storm sewer connection in street from main to the property. Call St. Paul PW permit desk (651-266-6234) for information on obtaining this permit.

CITY FORESTRY NOTES:

- The removal, pruning, and/or planting of trees on the public boulevard requires an approved permit from the City Forester (651-632-2437). Any work must be completed by a licensed tree contractor.
- Construction supplies, materials, spoils, equipment, and vehicles shall not be stored or operated within the drip line of any public street tree or on turf boulevards without prior written approval from the City Forester. If the boulevard must be used for construction activities, site access routes, material storage or other related activities, protective measures approved by the City Forester shall be taken to reduce soil compaction and protect tree(s) from damage.

DEMOLITION PLAN

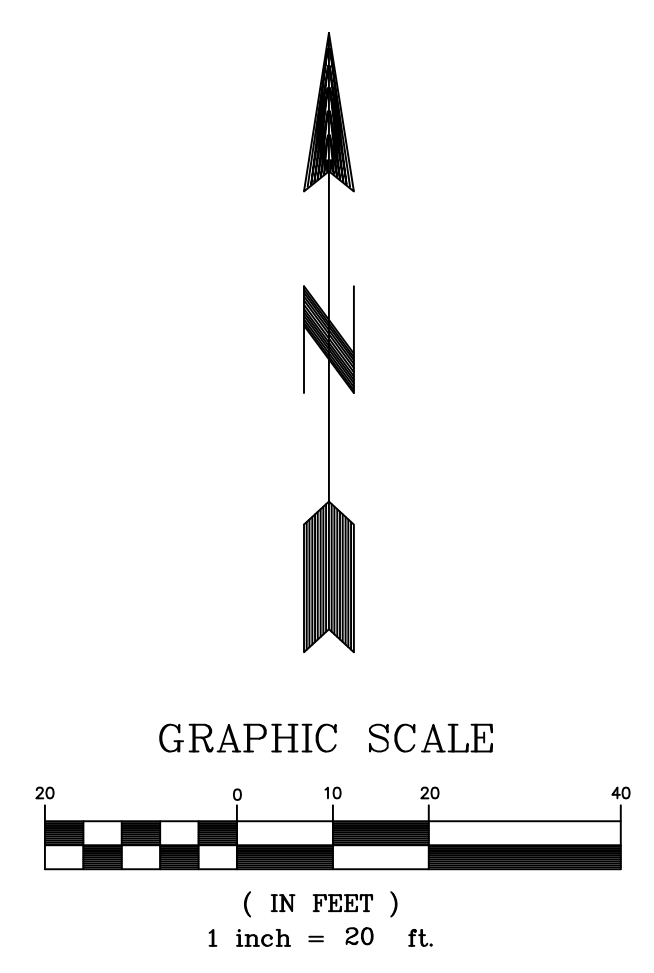
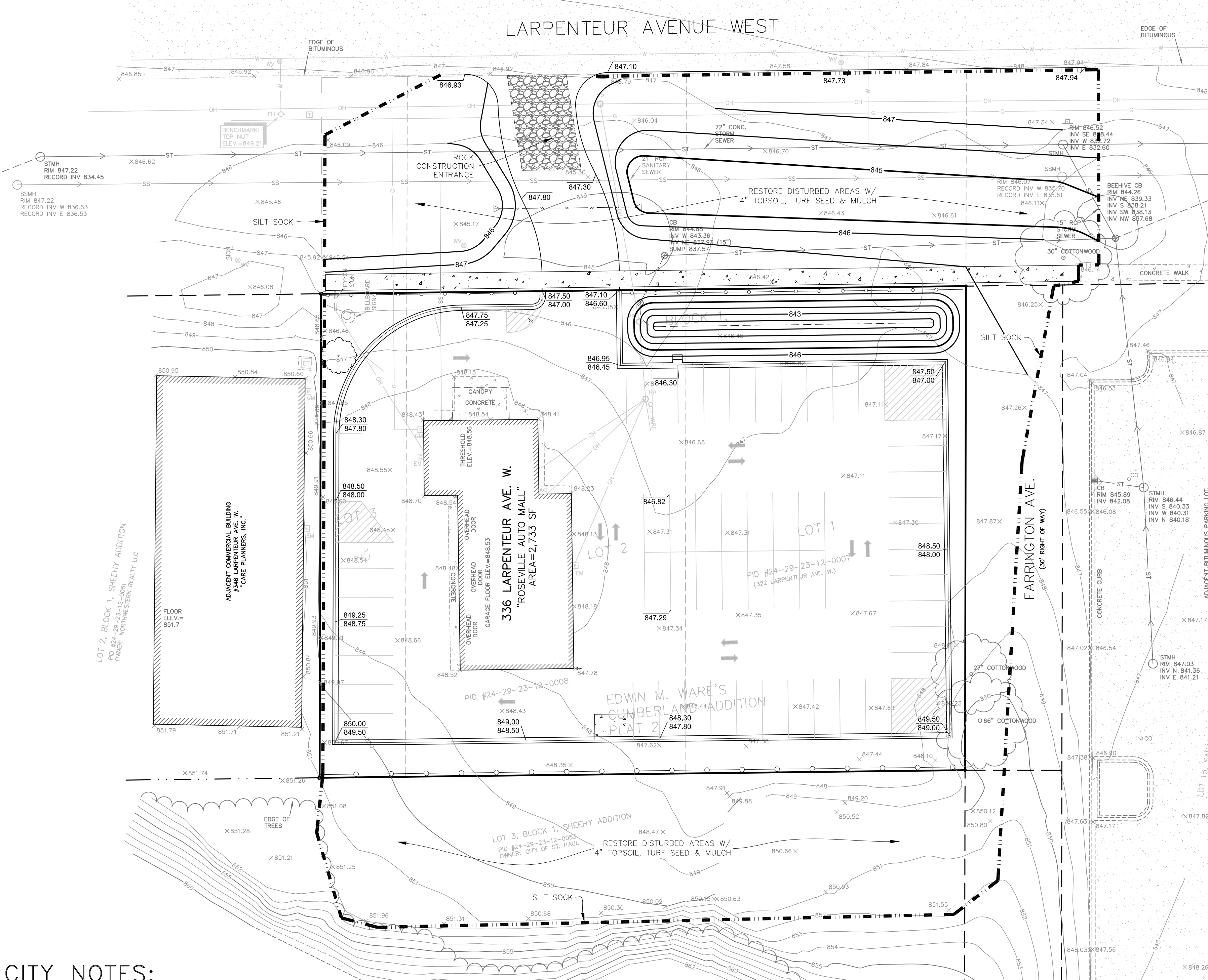
ROSEVILLE AUTO CENTER
ST. PAUL, MINNESOTA
for: MR. SHAWN COOPER

REVISIONS
5/6/19 CITY REVIEW
7/30/19 CITY REVIEW

STARK ENGINEERING
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Sauk Rapids, Minnesota

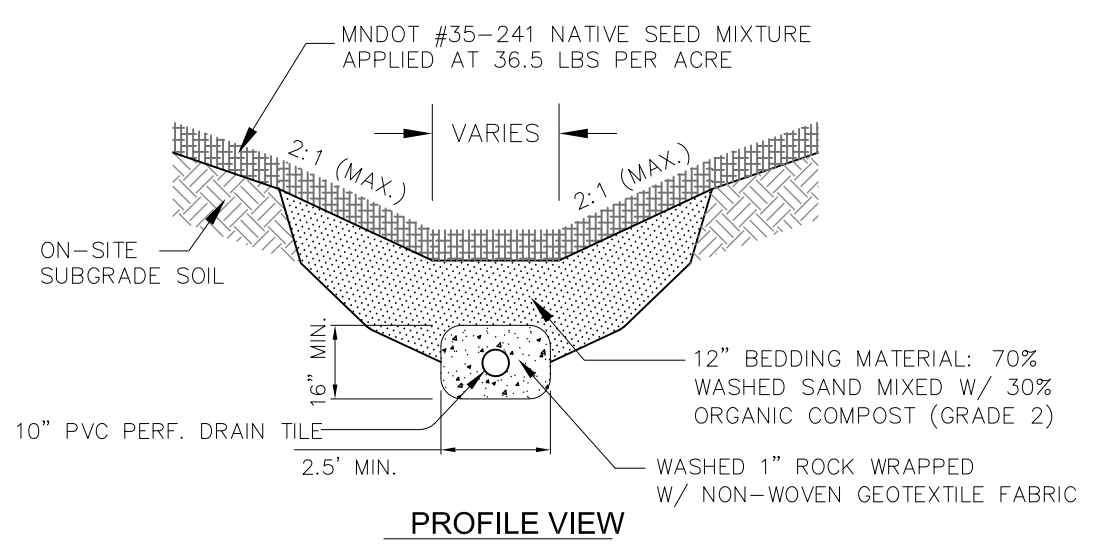
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Date: 7/30/19 Registration No. 26093
The C. E. Stark

SHEET
C-2
OF 3 SHEETS



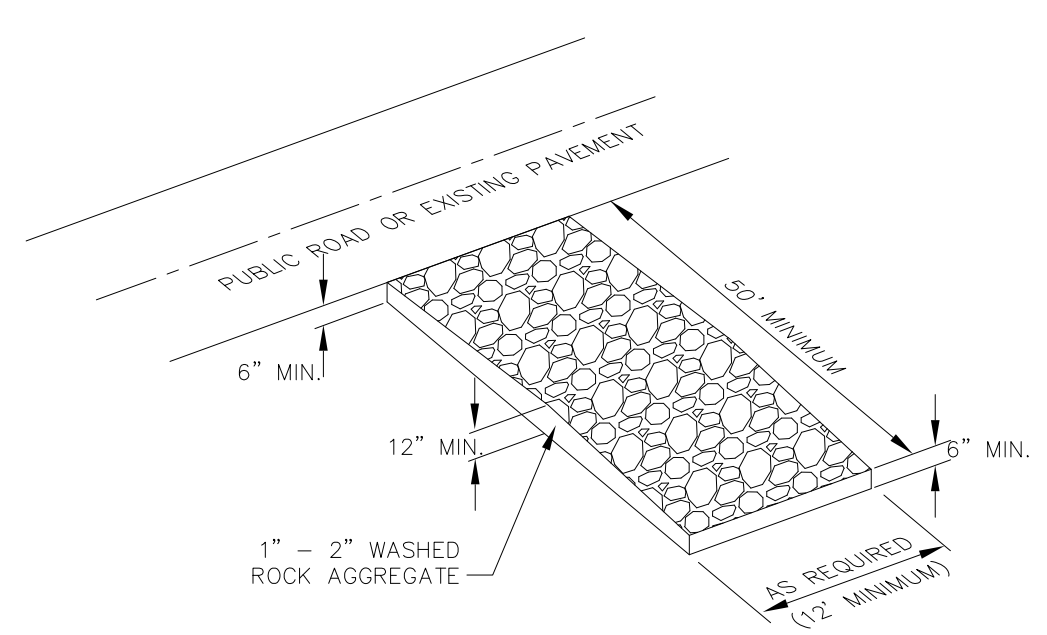
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4. THE FOLLOWING SEQUENCE AND PROTOCOLS SHALL BE FOLLOWED FOR EROSION AND SEDIMENT CONTROL DURING THE SITE DEVELOPMENT PROCESS:
 - A. INSTALL SILT SOCK AND ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS PRIOR TO START OF WORK.
 - B. PERFORM SITE REMOVALS, GRADING, EXCAVATION AND EMBANKMENT. SEED AND MULCH ALL DISTURBED AREAS OUTSIDE OF PROPOSED PAVEMENT WITHIN 72 HOURS OF THIS WORK.
 - C. INSTALL CONCRETE CURB, BITUMINOUS PAVEMENT SECTION.
 - D. FINE GRADE SITE AND RESTORE GREEN AREAS WITH PERMANENT VEGETATION PER LANDSCAPE PLAN.
5. CONTRACTOR SHALL MAINTAIN ALL ADJACENT STREETS; KEEPING THEM CLEAN AND SWEEPED OF ALL DIRT AND DEBRIS DURING CONSTRUCTION, CONTRACTOR SHALL MINIMIZE EXISTING SIDEWALK CLOSURES DURING CONSTRUCTION.



NOTES:
 1) FILTRATION BASIN AREAS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AND SCARIFIED AFTER GRADING OPERATIONS ARE COMPLETE.

FILTRATION BASIN DETAIL
NO SCALE



ROCK ENTRANCE DETAIL
NO SCALE

CITY NOTES:

1. **CONSTRUCTION IN RIGHT OF WAY:** All work on curbs, driveways, and sidewalks within the public right of way must be done to City Standards and Specifications by a contractor licensed to work in the City right-of-way under a permit from Public Works Sidewalk Section (651-266-6108). Sidewalk grades must be carried across driveways.
2. **RIGHT OF WAY RESTORATION:** Restoration of asphalt and concrete pavements are performed by the Public Works Street Maintenance Division. The contractor is responsible for payment to the City for the cost of these restorations. The contractor shall contact Public Works Street Maintenance to set up a work order prior to beginning any removals in the street at 651-266-9700. Procedures and unit costs are found in Street Maintenance's "General Requirements - All Restorations" and are available at the permit office.
3. Adjacent streets and alleys must be swept to keep them free of sediment. Contractor must monitor conditions and sweep as needed or within 24 hours notice of City.
4. **INSPECTION CONTACT:** The developer shall contact the Right of Way inspector Tom Johnston at 651-485-4398 one week prior to beginning work to discuss traffic control, pedestrian safety and coordination of all work in the public right of way. As part of the ROW permitting process, two weeks before any work begins that impacts the ROW in any way the developer shall provide to the ROW Inspector the name and contact information of the Construction Project Manager or Construction Project Superintendent. If this information is not provided there may be a delay in obtaining permits for the work in the ROW. Said delays will be the sole responsibility of the developer.
5. **SAFE WORK SITE REQUIREMENTS:** The Contractor shall provide a continuous, accessible and safe pedestrian walkway that meets ADA and MN MUTCD standards if working in a sidewalk area, and traffic control per MN MUTCD requirements for work in the public right of way.
6. **ENCROACHMENTS:** Per Chapter 134 of the Legislative Code, no person shall construct and maintain any projection or encroachment within the public right-of-way. Construction of the development that necessitates temporary use of the Right-of-Way (ROW) for construction purposes shall be limited to equipment, personnel, devices and appurtenances that are removable following construction. Encroachment permits will not be granted for devices such as tie backs, rock bolts, H-piles, lagging, timbers, sheet piling, etc. that the owner is seeking to abandon in the ROW. Section 3201.3 of the Minnesota Building Code defers final authority of encroachments into public rights-of-way/public property to the local authority. City Legislative Code governs management of the public rights-of-way. Provided such installations are approved by Public Works, footings may be allowed to encroach into City ROW no more than twelve (12) inches at depths below eight (8) feet as provided for in Minnesota Building Code Section 3202.1. Said encroachments would require an encroachment permit from the City per Chapter 134 of the Legislative Code. Encroachments installed in the ROW without authorization will be removed at no expense to the City/County/State. Encroachments into County or State ROW are not allowed unless authorization has been granted from said agency. Larpenteur Avenue is a County roadway.

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Sauk Rapids, Minnesota

STARK ENGINEERING

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the State of Minnesota.
 Date: 7/30/19 Registration No. 26093
 The C.E. Shawn Cooper

REVISIONS	CITY REVIEW	CITY REVIEW
5/6/19		
7/30/19		

GRADING AND EROSION CONTROL PLAN

ROSEVILLE AUTO CENTER
ST. PAUL, MINNESOTA
for: MR. SHAWN COOPER

SHEET
C-3
OF 3 SHEETS